



Town of Golden

REQUEST FOR QUOTATION RFQ RP-PB 2024-04

FOR

REC-PLEX PARK LANDSCAPE IMPROVEMENT PLAN PHASE I

INSTRUCTIONS

- **Closing Date for Submission:** Sealed quotations are to be delivered to the attention of the undersigned, Town of Golden, 810 9th Avenue South, no later than **2:00 pm MST, Thursday, May 16th, 2024**. Email submissions by the closing date will also be accepted if followed by a hard copy submission. Proposals will not be opened in public.
- **Pre-bid Inspection:** Prospective bidders are encouraged schedule a mandatory tour to view the work site before submitting a proposal. Site tours will be provided upon request and scheduled by emailing the undersigned. Tours will be hosted between April 22nd to April 26th, 2024.
- **Substantial Completion Date:** September 20th, 2024.
- **Town of Golden Contact:** Jordan Petrovics, Director of Recreation Services

Telephone: 250-344-0665

Email: jordan.petrovics@golden.ca

Address: 810 9th Ave South
Box 350
Golden, B.C.
V0A 1H0

1. Background

A master plan for the Rec-Plex park block was developed and completed in partnership with the Golden Skateboard Association, with administrative support from the Town of Golden Recreation Department. Details on the full master plan can be viewed on the Town of Golden website at golden.ca/engagement.

The landscape improvements plan bid package includes landscaping improvements around the skatepark expansion and pathways connecting the skatepark, pump track and sidewalks within the park block. The package also includes the installation of various site furnishings and amenities.

The Town of Golden is seeking proposals from qualified contractors that can construct all the elements outlined in the attached tender package.

Jordan Petrovics, Director of Recreation Services with the Town of Golden, is the staff lead for this project. jordan.petrovics@golden.ca 250-344-0665

Jason Jones, LARCH Landscape Architecture, is the Landscape Architect for the project, providing project oversight, larchlandscapearchitecture@gmail.com 250-938-7337

2. Purpose of the RFP

The purpose of this RFP is to solicit quotations from qualified contractors for the works described herein. The Town intends to select and retain one General Contractor as a result of this RFP.

3. RFP Requirements

Proposals shall include a brief schedule and bid price based on the renderings attached to this package.

Note that the Contractor submitting the Proposal shall assume the responsibilities of the Prime Contractor and therefore be responsible for coordinating overall site safety and the safety of any associated sub-contractors.

4. RFP Evaluations

Proposals will be evaluated by cost as well as contractor experience with similar-scope projects.

Proposals are to include reference contact information for a minimum of three (3) similar scope construction projects, including project values, completed within the last five (5) years.

The lowest-priced or any proposal may not necessarily be accepted.

As this project is focused on serving our sports community, a proposal review and scoring committee will be formed with LARCH Landscape Architecture and Town of Golden staff. This committee will review the shortlisted proposals and inform Council of the desired project contractor.

Scoring Matrix Criteria:

- Proposed Budget
 - 40 / 100
- Completed Projects of Similar Complexity, Scale and Scope
 - 20 / 100
- Project Schedule, Construction Sequencing, Minimizing Court Closures
 - 20 / 100
- Attendance at a mandatory pre-bid tour
 - 5 / 100
- Use of Local Forces, Materials, and Supplies
 - 10 / 100
- Value Added
 - 5 / 100

After the committee has reviewed packages, if a proposal is to be recommended, a report will be taken to Council for approval to award, after which the successful Contractor will be given formal notice of award. The successful Bidder will be required to provide the Town with the following documentation within fifteen (15) calendar days of receipt of the Notice of Award:

- WCB clearance letters for the General Contractor and named sub-contractors;
- Certificate of insurance, minimum \$5,000,000 CGL, naming the Town of Golden and LARCH Landscape Architecture as additional insured;
- Proof of valid Town business licenses for the General Contractor and named sub-contractors;
- Construction schedule;
- Company safety plan for the work being undertaken.

5. General Conditions and Specifications

Refer to the attached conceptual documents.

The Town in no way whatsoever represents warrants or guarantees that such data is complete, relevant, suitable, representative or indicative of anticipated or actual conditions. Proponents remain solely responsible for independently investigating and satisfying themselves of actual site conditions.

6. General Notations

During the term of the contract, any damage caused by the Contractor or subordinates to the property, including but not limited to buildings, the property surrounding the buildings, surface fixtures, which may include trees, shrubbery, fences or other outdoor appurtenances, or private vehicles, will be the responsibility of the Contractor. Every effort must be made to mitigate damage to areas surrounding the immediate work sites.

The contract shall be subject to cancellation with written notice should the owner deem the Service unsatisfactory for any reason.

7. Quotation

Quotation for the individual work items is to be a lump sum bid price for the work noted as mandatory, and pricing shall be supplied for all optional work.

Upon completion of the work, payment will be made by the Town within 30 days of invoicing.

Proposed pricing for this project shall include the following:

- All necessary “Prime Contractor” project management roles and responsibilities, including general labour and specialized sub-trades labour scheduling, coordination, safety oversight and progress monitoring;
- all necessary site safety management of general workers, sub-trades workers, inspectors, visitors and all necessary site safety equipment;
- all work associated with the removal and disposal of any demolition materials to complete the construction project;
- supply and installation of all materials specified herein, including cost mark-up if applicable;
- supply and installation of all materials not otherwise specified herein or on the plans if applicable;
- all tools and equipment are necessary to complete the construction project.

All work will be subject to a warranty period of **one years** after the completion date.

The work is as identified in the park plan drawings. Prospective general contractors are encouraged to view the place of work before submitting a proposal.

Prices shall be submitted in the attached pricing schedule only. Hourly rates for general labour and specialized sub-trade labour shall also be submitted within the following section only for the purposes of determining approximate values of any proposed/required force account work. The lump-sum price and hourly labour rates shall be exclusive of applicable taxes. All proposed sub-trades intended to be used for the project are to be named in the Proposal.

Attachments

PROPOSAL FORM

REC-PLEX PARK LANDSCAPE IMPROVEMENT PLAN PHASE I

(Please complete and submit the following pages)

Proposal By:

(Hereinafter referred to as the "Bidder")

To: Town of Golden
810 9th Avenue South
PO Box 350
Golden, B.C., V0A 1H0

(Hereinafter referred to as the "Town of Golden")

In response to the Request for Proposal for ***REC-PLEX PARK LANDSCAPE IMPROVEMENT PLAN PHASE I***

and the associated Plan and Specifications, the bid package has to carefully examine the scope of the proposed Service and Work Specifications and, acting as Prime Contractor will provide all necessary labour, material, equipment, safety coordination and oversight, supervision and all other factors as required to complete the Service as called for by these documents and in accordance with the Town of Golden requirements, for the price tendered.

The Bidder further agrees that prices included are all-inclusive (excluding applicable Federal and Provincial taxes) and allow for any escalation of the Bidders costs following the Request for Proposal Period. The Successful Bidder will not be entitled to extra payment for any such escalation with respect to the executed Agreement.

The Bidder acknowledges receipt of the following addendum(s) covering revisions to the Request for Proposal Documents.

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

This Proposal is irrevocable until June 25th, 2024.

REQUEST FOR PROPOSAL DETAILS

REC-PLEX PARK LANDSCAPE IMPROVEMENT PLAN PHASE I

Please specify the experience and relevant training of personnel:

Please specify similar projects completed:

References:

1.

2.

3.

SCHEDULE OF APPROXIMATE QUANTITIES AND UNIT PRICES

Hourly Rates: General Contractor – Company Name: _____

Position _____ Rate _____

Position _____ Rate _____

Position _____ Rate _____

Position _____ Rate _____

Sub-trade – Company Name: _____

Position _____ Rate _____

Position _____ Rate _____

Position _____ Rate _____

Bidder's Address and Contact Information

Address _____

Phone _____
Cell _____
Email _____
Fax _____
Attention _____

Contractor:

(FULL LEGAL NAME OF CORPORATION, PARTNERSHIP OR INDIVIDUAL)

(AUTHORIZED SIGNATORY)

(AUTHORIZED SIGNATORY)

In Witness Whereof this Agreement has been executed by the parties hereto:

SIGNED AND DELIVERED on behalf of the Town by an authorized representative	SIGNED AND DELIVERED by or on behalf of the Contractor (or by an authorized signatory of the Contractor if a corporation)
_____ (Authorized Authority)	_____ (Contractor or Authorized Signatory)
_____ (PRINTED NAME of Authority)	_____ (PRINTED NAME of Contractor)

Golden Skatepark Landscape Improvements Phase I

Project #2024-04

ISSUED FOR TENDER

2024-03-14

Town of Golden

502 9 Ave N, Golden, BC V0A 1H0

Item / Description	Unit	Qty	Unit Cost	Total
1. CONTRACTOR USE OF SITE, SITE ACCESS, AND SITE SURVEY				
i. Contractor mobilization, establishment of site security fencing, secure staging compound, installation of stockpile areas, tree protection fencing, maintain temporary access routes, safety signage, detours, and haul roads as required. Reinstatement of all areas, surfaces and utilities disturbed. Remove construction debris and demobilization. Contractor to submit location of staging area, stockpile location and sizes, haul routes to Town of Golden representatives and Landscape Architect for approval prior to mobilization.				
	I.sum	1	_____	_____
			Sub-Total Section 1	_____
2. HARDSCAPE SURFACING + SITE FURNISHINGS				
A. Hardscape Paving				
i. Cast in Place Concrete Slabs Medium Broom Finish				
*Supply and installation of cast in place 100mm concrete slabs for benches and tables per contract documents including compacted gravel base material.				
	sq.m	10	_____	_____
B. Site Furnishings				
i. Backed Benches				
*Installation of owner supplied backed Wishbone Rutherford Wideback bench on concrete slab per manufacturer specifications.				
	e.a.	3	_____	_____
ii. Fixed Accessible Table and Seating				
*Installation of owner supplied fixed metal table and benches by MMCITE Tably Chess (1) and Portiquoa Chairs (3) or approved equivalent per contract documents. Includes all mounting hardware per contract documents.				
	I.sum	1	_____	_____
			Sub-Total Section 2	_____
3. IRRIGATION + WATER DISTRIBUTION WORKS				
A. Irrigation System				
i.				
Contractor to provide design-build irrigation system to be reviewed by Landscape Architect prior to construction. Lump Sum price to include all irrigation site preparation, controls, piping, sprinklers/dripline, and two years maintenance & warranty starting from substantial completion including start-up, DCVA testing, blow-out, and landscape repairs.				
	I.sum	1	_____	_____
			Sub-Total Section 3	_____

Golden Skatepark Landscape Improvements Phase I

Project #2024-04

ISSUED FOR TENDER

2024-03-14

Town of Golden

502 9 Ave N, Golden, BC V0A 1H0

Item / Description	Unit	Qty	Unit Cost	Total
4. LANDSCAPE				
A. Trees				
i. Autumn Blaze Maple				
*Per Landscape drawings and specifications.	ea.	7	_____	_____
ii. Dakota Pinnacle Birch				
*Per Landscape drawings and specifications.	ea.	6	_____	_____
iii. Dwarf Scotch Pine				
*Per Landscape drawings and specifications.	ea.	3	_____	_____
B. Shrubs, Grasses, Perennials				
i. 'Karl Foerster' Feather Reed Grass				
*Per Landscape drawings and specifications.	ea.	31	_____	_____
ii. Midwinter Fire Bloodtwig Dogwood				
*Per Landscape drawings and specifications.	ea.	4	_____	_____
iii. 'Bronzeschleier' Tufted Hairgrass				
*Per Landscape drawings and specifications.	ea.	30	_____	_____
iv. Compact Burning Bush				
*Per Landscape drawings and specifications.	ea.	1	_____	_____
v. Blue Oat Grass				
*Per Landscape drawings and specifications.	ea.	5	_____	_____
vi. Russian Sage				
*Per Landscape drawings and specifications.	ea.	11	_____	_____
vii. Coppertina Ninebark				
*Per Landscape drawings and specifications.	ea.	3	_____	_____
viii. Dwarf Mugo Pine				
*Per Landscape drawings and specifications.	ea.	4	_____	_____
ix. Slowmound Mugo Pine				
*Per Landscape drawings and specifications.	ea.	4	_____	_____
x. Black Eyed Susan				
*Per Landscape drawings and specifications.	ea.	6	_____	_____
xi. Dwarf Arctic Willow				
*Per Landscape drawings and specifications.	ea.	11	_____	_____
xii. Caradonna Perennial Salvia				
*Per Landscape drawings and specifications.	ea.	17	_____	_____
xiii. Autumn Joy Sedum				
*Per Landscape drawings and specifications.	ea.	4	_____	_____

Golden Skatepark Landscape Improvements Phase I

Project #2024-04

ISSUED FOR TENDER

2024-03-14

Town of Golden

502 9 Ave N, Golden, BC V0A 1H0

Item / Description	Unit	Qty	Unit Cost	Total
C. Landscape Items				
i. Feature Boulders				
*Per Landscape drawings. Supply and install local source feature boulders approx. 1000mm L x 500mm H x 500mm W.				
	ea.	6		
ii. Landscape Sod Grass				
*Per Landscape drawings. Supply and install sod grass for all areas shown on drawings and disturbed by construction activity. Includes supply and installation of protection measures (i.e. signs to stay off grass, flagging tape, staking, etc.)				
	sq.m	675		
iii. Landscape Edger				
*Supply and install Cleanline black metal edger or approved equal.				
	l.m.	45		
D. Planting Medium - Topsoil				
i. Planting Medium for Tree and Shrub Beds				
*Supply and install screened topsoil to 600mm depth per specifications including soil amendments per landscape drawings and specifications.				
	cu.m	100		
E. Bark Mulch				
i. Bark Mulch				
*Supply and installation of course black colour Nature's Gold bark mulch per landscape drawings and specifications.				
	sq.m	200		
Sub-Total Section 4				
Total				

NOTE:

* Contractor is to ensure all items listed above are supplied, installed, and maintained in accordance with Town of Golden Subdivision and Development Servicing Bylaw 1223 and the current edition of the Master Municipal Construction Documents (MMCD) requirements.

* All quantities and areas are to be confirmed prior to construction

MOUNT 7 REC PLEX - SKATEPARK LANDSCAPE IMPROVEMENTS PLAN

GOLDEN, BC

ISSUED FOR: TENDER - RP-PB 2024-04 LANDSCAPE PHASE 1

DRAWING LIST:

L1.0 OVERALL SITE LANDSCAPE PLAN

L1.1 LANDSCAPE PLAN

L1.2 PLANT SCHEDULE + LANDSCAPE DETAILS

L1.3 LANDSCAPE DETAILS

2024.03.14



SUBMITTED TO:

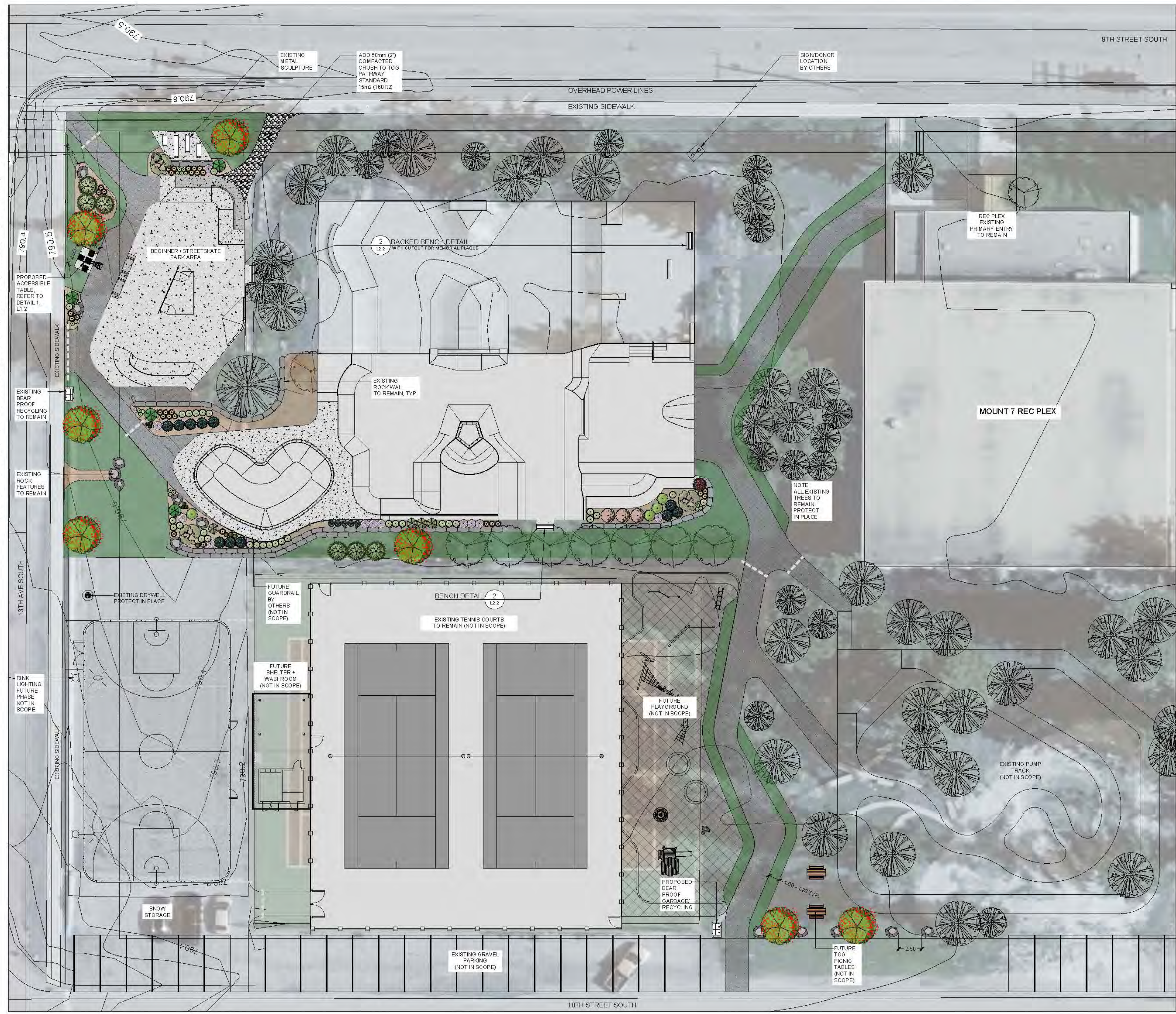
Town of Golden
Jordan Petrovics
Manager of Recreation Services
Phone: 250 344-2271
Email: jordan.petrovics@golden.ca

LARCH LANDSCAPE ARCHITECTURE

Box 1738
Golden, BC V0A 1H0
T: (250) 938-7337
E: larchlandscapearchitecture@gmail.com
www.larchlandscapearchitecture.com



*Any reuse, modification, or alteration of this document and the ideas and designs incorporated herein is at the sole risk of the party(ies) reusing, modifying, or altering it. All references to Larch Landscape - Authentic Mountain Design and their employees and all professional seals shall be removed prior to any reuse, modification or alteration to this document.



LEGEND

- EXISTING ELEVATION PER SURVEY
- PROPOSED SLOPE AND DRAINAGE DIRECTION
- EXISTING UNDERGROUND UTILITIES
- EXISTING OVERHEAD UTILITIES
- EXISTING PIPE SLEEVE: PVC CLASS 160 SDR 26 150mm FOR IRRIGATION AND ELECTRICAL (INSTALLED DURING PATHWAY CONSTRUCTION)
- EXISTING TREES TO REMAIN - PROTECT IN PLACE
- ASPHALT PATHWAYS - PROTECT IN PLACE
- PROPOSED SOD GRASS AREAS QTY: 625m² (6,730 ft²)
- PROPOSED LANDSCAPE MULCH AREAS - NATURES GOLD OR APPROVED EQUAL 75mm (3") DEPTH 200m² (2,150 ft²)

GENERAL NOTES:

- CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND SERVICES, BC ONE CALL 1-800-474-6886.
- ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE TOWN OF GOLDEN SUBDIVISION AND DEVELOPMENT SERVING BYLAW 1223 AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) REQUIREMENTS.
- CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO DEMOLITION OR CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT. PROPERTY LINES TO BE VERIFIED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE THE STAGING OF CONSTRUCTION ACTIVITIES AND WORK WITH ALL OTHER CONTRACTORS ON SITE, INCLUDING IRRIGATION SLEEVING AND WEEPING TILE DOWNSPOUT LOCATIONS PRIOR TO HARDSCAPE INSTALLATION.
- THE LANDSCAPE ARCHITECT WILL BE NOTIFIED MIN. 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE QUANTITIES LISTED ARE ESTIMATES. CONTRACTOR TO VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT.
- ANY CHANGES OR ALTERATIONS TO DRAWINGS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO CONFIRM ELEVATION, LOCATION, AND GRADIENT OF SURROUNDING GRADES AND PROVIDE A SMOOTH TRANSITION.
- CONTRACTOR TO BE REGISTERED WITH WORKSAFE BC.

PLANTING NOTES:

- REFER TO PLANT SCHEDULE FOR DETAILED SPECIES INFORMATION L1.2. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- CONFINE EQUIPMENT AND WORKERS TO LIMIT OF DISTURBANCE.
- SOD TO BE PLANTED ADJACENT TO DISTURBED AREAS AND OTHER AREAS OF NEW CONSTRUCTION.
- PLANT MATERIAL SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITION OF THE CANADIAN NURSERY TRADES ASSOCIATION GUIDE SPECIFICATIONS FOR NURSERY STOCK UNLESS OTHERWISE SPECIFIED.
- SUPPLY 75mm OF NATURES GOLD LANDSCAPE MULCH (BLACK) OR APPROVED EQUAL TO ALL PROPOSED TREE PLANTINGS AND SHRUB BEDS.
- TREES AND SHRUBS TO BE GUARANTEED FOR 1 FULL GROWING SEASON FROM SUBSTANTIAL COMPLETION BY CONTRACTOR. ALL REPLACEMENTS TO BE AT CONTRACTOR'S EXPENSE. SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.

IRRIGATION NOTES:

1. GENERAL

- TREES, SHRUBS, GRASSES, AND PERENNIALS WILL REQUIRE PERMANENT LOW SPRAY SPRINKLER IRRIGATION. IRRIGATION SYSTEM TO BE TENDERED AS DESIGN BUILD TO BE REVIEWED BY LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

SURVEY:

ALL BASE INFORMATION BASED ON SURVEY PLANS PROVIDED BY GEOMETRIC SURVEYS 2021 PROJECT NO. 100X

PROJECT:
REC PLEX SKATEPARK LANDSCAPE PHASE I

LOCATION:
1305 9 ST S, GOLDEN, BC
V0A 1H0

CONTEXT MAP:

CLIENT:
TOWN OF GOLDEN
JORDAN PETROVIC - MANAGER OF RECREATION SERVICES
E: jordan.petrovic@golden.ca
T: 250.344.0665

LANDSCAPE ARCHITECT: BCSLA 563

STAMP:

NOTE: ORIGINAL SHEET SIZE ARCH D (24x36)

SCALE: 0 2.0 6.0 10.0m
SCALE 1:200

ISSUED FOR: TENDER

DATE: 2024-03-14
NOT FOR CONSTRUCTION

REVISIONS:	NO.	DESCRIPTION:	DATE:	BY:
	1.	CONCEPT DESIGN	2021-02-01	JJ
	2.	SKATEPARK LANDSCAPE CONCEPT	2023-04-07	JJ
	3.	SKATEPARK LANDSCAPE FINAL REV	2023-12-12	JJ
	4.	SKATEPARK LANDSCAPE TENDER	2024-03-14	JJ

DESIGNED BY: JJ

DRAWING TITLE:
LANDSCAPE PLAN OVERALL SITE

L-1.0

Any reuse, modification, or alteration of this document and the ideas and designs incorporated herein is at the sole risk of the party(ies) reusing, modifying, or altering it. All references to Larch Landscape - Authentic Mountain Design and their employees and all professional seals shall be removed prior to any reuse, modification or alteration to this document.



LEGEND

- EXISTING ELEVATION PER SURVEY
- PROPOSED SLOPE AND DRAINAGE DIRECTION
- EXISTING UNDERGROUND UTILITIES
- EXISTING OVERHEAD UTILITIES
- EXISTING PIPE SLEEVE: PVC CLASS 160 SDR 26 150mm FOR IRRIGATION AND ELECTRICAL (INSTALLED DURING PATHWAY CONSTRUCTION)
- EXISTING TREES TO REMAIN - PROTECT IN PLACE
- ASPHALT PATHWAYS - PROTECT IN PLACE
- PROPOSED SOD GRASS AREAS QTY: 625m² (6,730 ft²)
- PROPOSED LANDSCAPE MULCH AREAS - NATURES GOLD OR APPROVED EQUAL 75mm (3") DEPTH 200m² (2,150 ft²)

GENERAL NOTES:

- CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND SERVICES, BC ONE CALL 1-800-474-6886.
- ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE TOWN OF GOLDEN SUBDIVISION AND DEVELOPMENT SERVING BYLAW 1223 AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) REQUIREMENTS.
- CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO DEMOLITION OR CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT. PROPERTY LINES TO BE VERIFIED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE THE STAGING OF CONSTRUCTION ACTIVITIES AND WORK WITH ALL OTHER CONTRACTORS ON SITE, INCLUDING IRRIGATION SLEEVING AND WEeping TILE DOWNSPOUT LOCATIONS PRIOR TO HARDSCAPE INSTALLATION.
- THE LANDSCAPE ARCHITECT WILL BE NOTIFIED MIN. 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE QUANTITIES LISTED ARE ESTIMATES. CONTRACTOR TO VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT.
- ANY CHANGES OR ALTERATIONS TO DRAWINGS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO CONFIRM ELEVATION, LOCATION, AND GRADIENT OF SURROUNDING GRADES AND PROVIDE A SMOOTH TRANSITION.
- CONTRACTOR TO BE REGISTERED WITH WORKSAFE BC.

PLANTING NOTES:

- REFER TO PLANT SCHEDULE FOR DETAILED SPECIES INFORMATION L1 2. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- CONFINE EQUIPMENT AND WORKERS TO LIMIT OF DISTURBANCE.
- SOD TO BE PLANTED ADJACENT TO DISTURBED AREAS AND OTHER AREAS OF NEW CONSTRUCTION.
- PLANT MATERIAL SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITION OF THE CANADIAN NURSERY TRADES ASSOCIATION GUIDE SPECIFICATIONS FOR NURSERY STOCK UNLESS OTHERWISE SPECIFIED.
- SUPPLY 75mm OF NATURES GOLD LANDSCAPE MULCH (BLACK) OR APPROVED EQUAL TO ALL PROPOSED TREE PLANTINGS AND SHRUB BEDS.
- TREES AND SHRUBS TO BE GUARANTEED FOR 1 FULL GROWING SEASON FROM SUBSTANTIAL COMPLETION BY CONTRACTOR. ALL REPLACEMENTS TO BE AT CONTRACTOR'S EXPENSE. SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.

IRRIGATION NOTES:

1. GENERAL

- TREES, SHRUBS, GRASSES, AND PERENNIALS WILL REQUIRE PERMANENT LOW SPRAY SPRINKLER IRRIGATION. IRRIGATION SYSTEM TO BE TENDERED AS DESIGN BUILT TO BE REVIEWED BY LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

SURVEY:

ALL BASE INFORMATION BASED ON SURVEY PLANS PROVIDED BY GEOMETRIC SURVEYS 2021 PROJECT NO. 100X

PROJECT:
REC PLEX SKATEPARK LANDSCAPE PHASE I

LOCATION:
 1308 9 ST S, GOLDEN, BC
 V0A 1H0

CONTEXT MAP:

CLIENT:
 TOWN OF GOLDEN
 JORDAN PETROVICS - MANAGER OF RECREATION SERVICES
 E: jordan.petrovics@golden.ca
 T: 250.344.0665

LANDSCAPE ARCHITECT: BCSLA 563

STAMP:

NOTE: ORIGINAL SHEET SIZE ARCH D (24x36)

SCALE: 0 1.5 4.5 7.5m
 NORTH SCALE 1:150

ISSUED FOR: TENDER

DATE: 2024-03-14
NOT FOR CONSTRUCTION

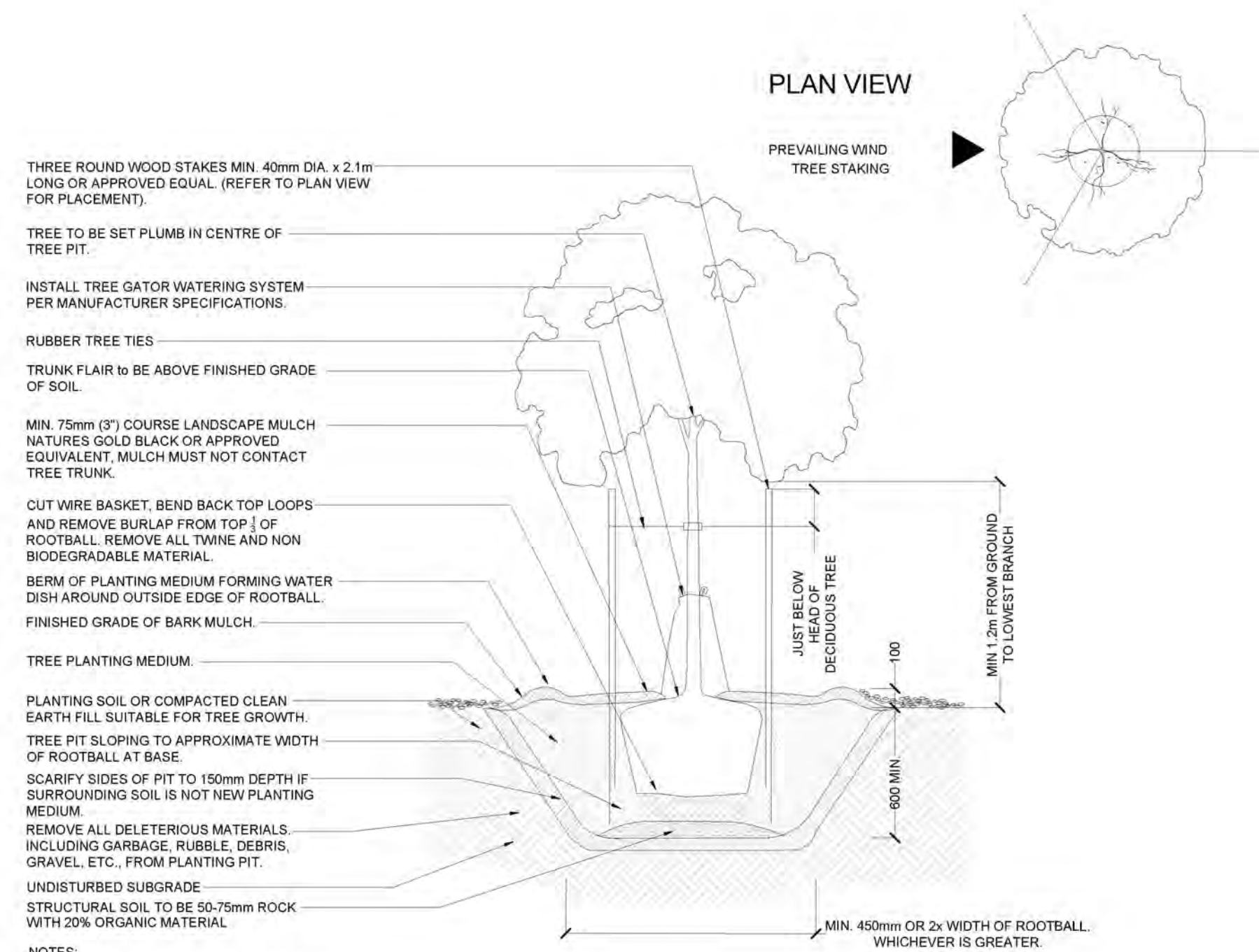
REVISIONS:	NO.	DESCRIPTION:	DATE:	BY:
	1.	CONCEPT DESIGN	2021-02-01	JJ
	2.	SKATEPARK LANDSCAPE CONCEPT	2023-04-07	JJ
	3.	SKATEPARK LANDSCAPE FINAL REV	2023-12-12	JJ
	4.	SKATEPARK LANDSCAPE TENDER	2024-03-14	JJ

DESIGNED BY: JJ

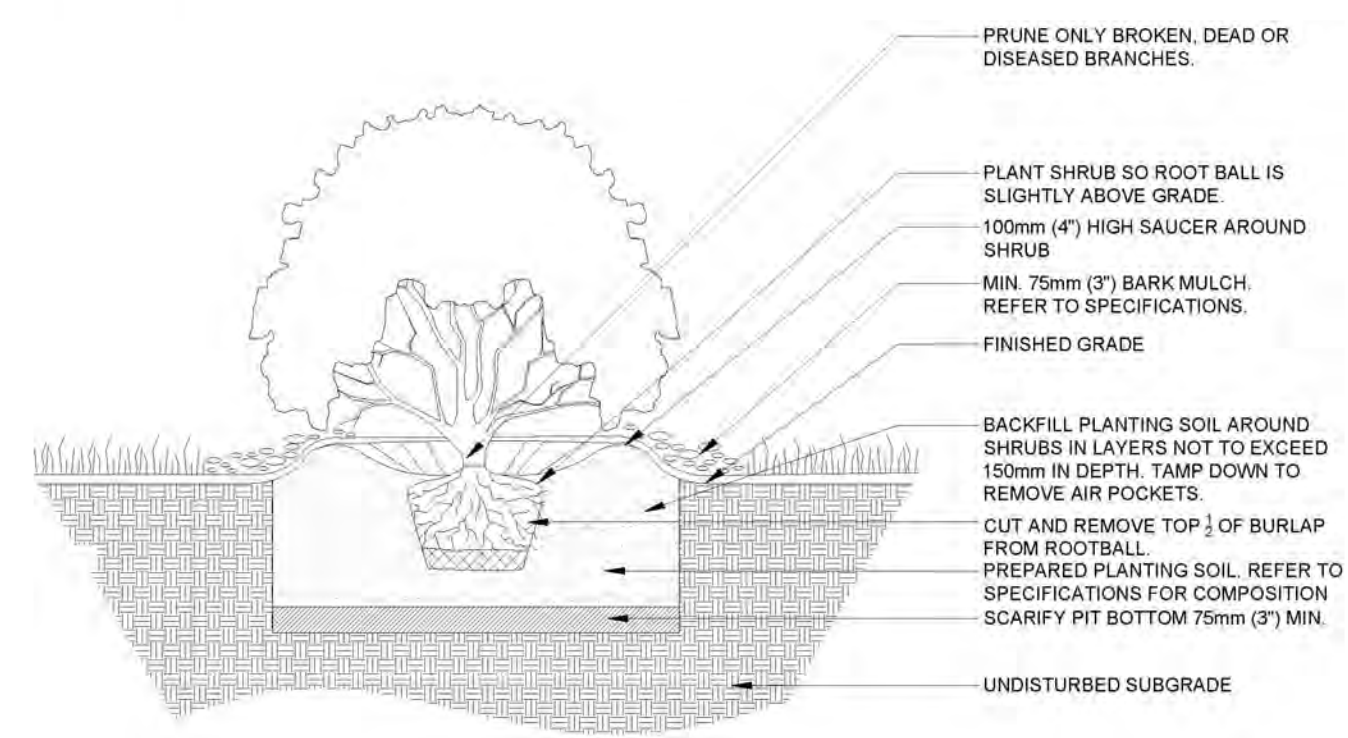
DRAWING TITLE:
LANDSCAPE PLAN SKATEPARK AREA

L-1.1

Any reuse, modification, or alteration of this document and the ideas and designs incorporated herein is at the sole risk of the party(ies) reusing, modifying, or altering it. All references to Larch Landscape + Authentic Mountain Design and their employees and all professional seals shall be removed prior to any reuse, modification or alteration to this document.



1 TREE PLANTING DETAIL
L1.2 1:30



2 SHRUB PLANTING DETAIL
L1.2 1:30

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES						
	ACE A12	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple	-	75mm		7
	BET FAR	Betula platyphylla 'Fargo' TM / Dakota Pinnacle Asian White Birch	-		2.0m HT.	6
	PIN VVO	Pinus sylvestris 'Pumila' / Dwarf Scotch Pine	-		1.0m HT.	3
SYMBOL CODE BOTANICAL / COMMON NAME CONT QTY						
SHRUBS						
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	#2 CONT.			31
	COR MID	Cornus sanguinea 'Midwinter Fire' / Midwinter Fire Bloodtwig Dogwood	#2 CONT.			4
	DES BRO	Deschampsia cespitosa 'Bronzeschleier' / Tufted Hair Grass	#2 CONT.			30
	EUO COM	Euonymus alatus 'Compactus' / Compact Burning Bush	#5 CONT.			1
	HEL SEM	Helictotrichon sempervirens / Blue Oat Grass	#2 CONT.			5
	PER ATR	Perovskia atriplicifolia / Russian Sage	#2 CONT.			11
	PHY COP	Physocarpus opulifolius 'Coppertina' / Coppertina Ninebark	#2 CONT.			3
	PIN CO2	Pinus mugo 'Compacta' / Dwarf Mugo Pine	#5 CONT.			4
	PIN SLO	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	#5 CONT.			4
	RUD GO2	Rudbeckia fulgida sullivantii 'Goldsturm' / Black-eyed Susan	#1 CONT.			6
	SAL PUR	Salix purpurea 'Nana' / Dwarf Arctic Willow	#5 CONT.			11
	SAL CAR	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia	#1 CONT.			17
	SED AU3	Sedum x 'Autumn Joy' / Autumn Joy Sedum	#2 CONT.			4

TOPSOIL NOTES:

1. GROWING MEDIUM FOR ALL TREE, SHRUB, FORBS AND FLOWER BEDS IS TO MEET THE CANADIAN LANDSCAPE SPECIFICATION UNDER THE DESIGNATION 2P.
2. GROWING MEDIUM SHOULD BE CERTIFIED TO ITS ORIGIN AND VIRTUALLY FREE OF INVASIVE PLANT SEEDS, THEIR REPRODUCTIVE PARTS AND ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEIOUS MATERIALS THAT DETRACT FROM DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

LOAM; NATURAL, FERTILE, FRIABLE, AGRICULTURAL SOIL MEETING FOLLOWING REQUIREMENTS:

- NOT LESS THAN 6% ORGANIC MATERIAL.
- PH VALUE RANGING FROM 5.9 TO 7.0.
- NON-TOXIC TO PLANT GROWTH.
- E.C. - SALINITY READING NOT EXCEEDING 1.5
- SOIL TEXTURE: LOAM SOIL AS DEFINED BY CANADIAN SYSTEM OF SOIL CLASSIFICATION.

PEAT MOSS: DECOMPOSED PLANT MATERIAL, FAIRLY ELASTIC AND HOMOGENEOUS. FREE OF DECOMPOSED COLLOIDAL RESIDUE, WOOD, SULPHUR, AND IRON. MINIMUM OF 80% ORGANIC MATTER BY MASS; PH VALUE BETWEEN 4.5 AND 6.0.

SITE: PREPARED GROWING MEDIUM; SPREAD 50 MM PEAT MOSS AND 100 MM OF SAND EVENLY OVER EXISTING SUBGRADE. MIX THE SPREAD MATERIALS THOROUGHLY TO 150 MM DEPTH BY CULTIVATING OR ROTO-TILLING OR BY HAND METHODS.

LEGEND

- 79.100 EXISTING ELEVATION PER SURVEY
- 2.0% PROPOSED SLOPE AND DRAINAGE DIRECTION
- EXISTING UNDERGROUND UTILITIES
- EXISTING OVERHEAD UTILITIES
- EXISTING PIPE SLEEVE: PVC CLASS 160 SDR 26 150mm FOR IRRIGATION AND ELECTRICAL (INSTALLED DURING PATHWAY CONSTRUCTION)
- EXISTING TREES TO REMAIN - PROTECT IN PLACE
- ASPHALT PATHWAYS - PROTECT IN PLACE
- PROPOSED SOD GRASS AREAS QTY: 675m² (7,265 ft²)
- PROPOSED LANDSCAPE MULCH AREAS - NATURES GOLD OR APPROVED EQUAL 75mm (3") DEPTH 200m² (2,150 ft²)

GENERAL NOTES:

1. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND SERVICES. BC ONE CALL 1-800-474-6886.
2. ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE TOWN OF GOLDEN SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 1223 AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) REQUIREMENTS.
3. CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO DEMOLITION OR CONSTRUCTION.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT. PROPERTY LINES TO BE VERIFIED PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE STAGING OF CONSTRUCTION ACTIVITIES AND WORK WITH ALL OTHER CONTRACTORS ONSITE, INCLUDING IRRIGATION SLEEVING AND WEEPING TILE DOWNSPOUT LOCATIONS PRIOR TO HARDSCAPE INSTALLATION.
6. THE LANDSCAPE ARCHITECT WILL BE NOTIFIED MIN. 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
7. THE QUANTITIES LISTED ARE ESTIMATES. CONTRACTOR TO VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT.
8. ANY CHANGES OR ALTERATIONS TO DRAWINGS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. CONTRACTOR TO CONFIRM ELEVATION, LOCATION, AND GRADIENT OF SURROUNDING GRADES AND PROVIDE A SMOOTH TRANSITION.
10. CONTRACTOR TO BE REGISTERED WITH WORKSAFE BC.

PLANTING NOTES:

1. REFER TO PLANT SCHEDULE FOR DETAILED SPECIES INFORMATION L1.2. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
2. CONFINE EQUIPMENT AND WORKERS TO LIMIT OF DISTURBANCE.
3. SOD TO BE PLANTED ADJACENT TO DISTURBED AREAS AND OTHER AREAS OF NEW CONSTRUCTION.
4. PLANT MATERIAL SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITION OF THE CANADIAN NURSERY TRADES ASSOCIATION GUIDE SPECIFICATIONS FOR NURSERY STOCK UNLESS OTHERWISE SPECIFIED.
5. SUPPLY 75mm OF NATURES GOLD LANDSCAPE MULCH (BLACK) OR APPROVED EQUAL TO ALL PROPOSED TREE PLANTINGS AND SHRUB BEDS.
6. TREES AND SHRUBS TO BE GUARANTEED FOR 1 FULL GROWING SEASON FROM SUBSTANTIAL COMPLETION BY CONTRACTOR. ALL REPLACEMENTS TO BE AT CONTRACTOR'S EXPENSE. SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.

IRRIGATION NOTES:

1. GENERAL

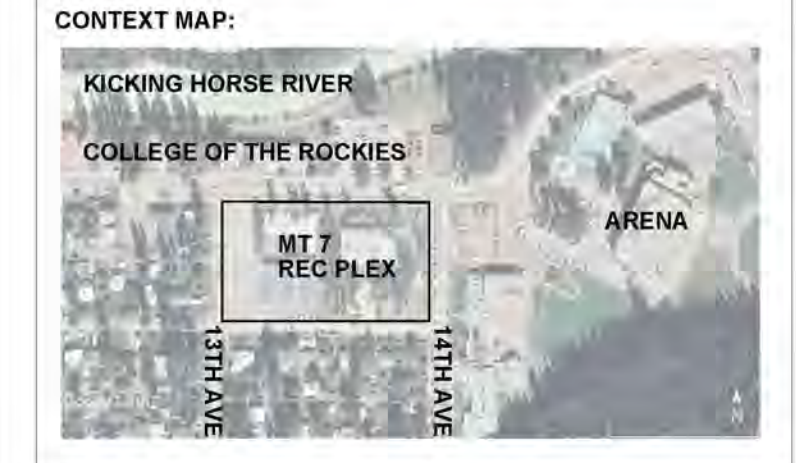
- TREES, SHRUBS, GRASSES, AND PERENNIALS WILL REQUIRE PERMANENT LOW SPRAY SPRINKLER IRRIGATION. IRRIGATION SYSTEM TO BE TENDERED AS DESIGN BUILD TO BE REVIEWED BY LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

SURVEY:

ALL BASE INFORMATION BASED ON SURVEY PLANS PROVIDED BY GEOMETRIC SURVEYS 2021 PROJECT NO. 100X

PROJECT:
REC PLEX SKATEPARK LANDSCAPE PHASE I

LOCATION:
1305 9 ST S, GOLDEN, BC
V0A 1H0



CLIENT:
TOWN OF GOLDEN
JORDAN PETROVICS - MANAGER OF RECREATION SERVICES
E: jordan.petrovics@golden.ca
T: 250.344.0665



LANDSCAPE ARCHITECT BCSLA 563

GOLDEN, BC 250.938.7337



NOTE: ORIGINAL SHEET SIZE ARCH D (24x36)

NORTH

ISSUED FOR: TENDER

DATE: 2024-03-14

NOT FOR CONSTRUCTION

REVISIONS:

NO.	DESCRIPTION	DATE	BY.
1.	CONCEPT DESIGN	2021-02-01	JJ
2.	SKATEPARK LANDSCAPE CONCEPT	2023-04-07	JJ
3.	SKATEPARK LANDSCAPE FINAL REV	2023-12-12	JJ
4.	SKATEPARK LANDSCAPE TENDER	2024-03-14	JJ

DESIGNED BY: JJ

DRAWING TITLE:
PLANT SCHEDULE + LANDSCAPE DETAILS

L-1.2



PRODUCT:
TABLE SURFACE MOUNT BENCH
BY MMCITE
WOOD: OILED ROBINIA
POWDER COAT: RAL 7016 ANTHRACITE GREY
SURFACE MOUNT

1 ACCESSIBLE TABLE (1) + CHAIRS (3)
L1.3 NOTE: OWNER SUPPLIED - INSTALLATION ONLY

RUTHERFORD BENCH - WIDE BODY
Model Number : RW-6



RECYCLED LUMBER: GREY
POWDER COAT: VICTOR RIDGE II

DESIGNER NOTES
This is one of our bestselling benches in a wide body design. The additional space on each end provides extra leg room for optimal comfort and ease of accessibility. The angle of the armrest matches exactly to the way one's leg naturally rests. The beauty of these features is that they allow any user (but specifically older users) to effortlessly get in and out of the bench. Designed with aesthetics and serenity in mind this bench virtually invites the user to sit for long periods in style.



100% Canadian Made
Wishbone Ltd. provides an extended 10 year limited warranty from the date of invoice.
Visit us online at www.WishboneLtd.com
Wishbone Site Furnishings | #210-27090 Gloucester Way | Langley, BC CANADA V4W 3Y5
1.866.626.0476 sales@wishboneltd.com



PRODUCT SPECIFICATIONS
100% Recycled Plastic Slats
30 year or more warranty, against rot, warping, insect damage, or other failure of the product.
Colors Available: Black, Grey, Redwood, Sand, Walnut
10 YEAR LIMITED WARRANTY
Durable Powder Coated Aluminum Frame
Standard Colours: Brown Slate, Victor Ridge II, Nordic Lichen, Timeless Rust, Grey Gold, Textured Silver, Precious Sand, Onyx Red, Black Textured, Earth Clay, Noble Bronze, Modern Khaki, Flame Red, Pastel Orange, Signal Violet, Traffic Yellow, Ultramarine Blue, Water Blue, Yellow Green
Long Lasting Stainless Steel Hardware

CUSTOMIZED SOLUTIONS
Custom Powder Coating (Setup Charges May Apply)
Gifting Program (Custom Inset Bronze Plaques)
LED Lighting built into the seat.
Center arm
Custom Lengths from 4 ft to 8 ft
Skate blocks
Stainless steel bolt down kit

PRODUCT DIMENSIONS

Total Height	34.5 inches / 876mm
Seat Height	17.5 inches / 445mm
Seat Depth	17 inches / 432mm
Total Length	6 feet / 183cm
Weight	135 lbs / 61 kg

RECYCLED CONTENT
64% RECYCLED CONTENT BY WEIGHT
100% RECYCLABLE

2 BACKED BENCH DETAIL
L1.3 NOTE: OWNER SUPPLIED - INSTALLATION ONLY

LEGEND

- EXISTING ELEVATION PER SURVEY
- PROPOSED SLOPE AND DRAINAGE DIRECTION
- EXISTING UNDERGROUND UTILITIES
- EXISTING OVERHEAD UTILITIES
- EXISTING PIPE SLEEVE: PVC CLASS 160 SDR 26 150mm FOR IRRIGATION AND ELECTRICAL (INSTALLED DURING PATHWAY CONSTRUCTION)
- EXISTING TREES TO REMAIN - PROTECT IN PLACE
- ASPHALT PATHWAYS - PROTECT IN PLACE
- PROPOSED SOD GRASS AREAS QTY: 675m² (7,265 ft²)
- PROPOSED LANDSCAPE MULCH AREAS - NATURES GOLD OR APPROVED EQUAL 75mm (3") DEPTH 200m² (2,150 ft²)

GENERAL NOTES:

1. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND SERVICES. BC ONE CALL 1-800-474-6886.
2. ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE TOWN OF GOLDEN SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 1223 AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) REQUIREMENTS.
3. CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO DEMOLITION OR CONSTRUCTION.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT. PROPERTY LINES TO BE VERIFIED PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE STAGING OF CONSTRUCTION ACTIVITIES AND WORK WITH ALL OTHER CONTRACTORS ONSITE, INCLUDING IRRIGATION SLEEVING AND WEEPING TILE DOWNSPOUT LOCATIONS PRIOR TO HARDSCAPE INSTALLATION.
6. THE LANDSCAPE ARCHITECT WILL BE NOTIFIED MIN. 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
7. THE QUANTITIES LISTED ARE ESTIMATES. CONTRACTOR TO VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO ENGINEER OR LANDSCAPE ARCHITECT.
8. ANY CHANGES OR ALTERATIONS TO DRAWINGS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. CONTRACTOR TO CONFIRM ELEVATION, LOCATION, AND GRADIENT OF SURROUNDING GRADES AND PROVIDE A SMOOTH TRANSITION.
10. CONTRACTOR TO BE REGISTERED WITH WORKSAFE BC.

PLANTING NOTES:

1. REFER TO PLANT SCHEDULE FOR DETAILED SPECIES INFORMATION L1.2. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
2. CONFINE EQUIPMENT AND WORKERS TO LIMIT OF DISTURBANCE.
3. SOD TO BE PLANTED ADJACENT TO DISTURBED AREAS AND OTHER AREAS OF NEW CONSTRUCTION.
4. PLANT MATERIAL SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITION OF THE CANADIAN NURSERY TRADES ASSOCIATION GUIDE SPECIFICATIONS FOR NURSERY STOCK UNLESS OTHERWISE SPECIFIED.
5. SUPPLY 75mm OF NATURES GOLD LANDSCAPE MULCH (BLACK) OR APPROVED EQUAL TO ALL PROPOSED TREE PLANTINGS AND SHRUB BEDS.
6. TREES AND SHRUBS TO BE GUARANTEED FOR 1 FULL GROWING SEASON FROM SUBSTANTIAL COMPLETION BY CONTRACTOR. ALL REPLACEMENTS TO BE AT CONTRACTOR'S EXPENSE. SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.

IRRIGATION NOTES:

1. GENERAL
 - TREES, SHRUBS, GRASSES, AND PERENNIALS WILL REQUIRE PERMANENT LOW SPRAY SPRINKLER IRRIGATION. IRRIGATION SYSTEM TO BE TENDERED AS DESIGN BUILD TO BE REVIEWED BY LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

SURVEY:

ALL BASE INFORMATION BASED ON SURVEY PLANS PROVIDED BY GEOMETRIC SURVEYS 2021 PROJECT NO. 100X

TOPSOIL NOTES:

1. GROWING MEDIUM FOR ALL TREE, SHRUB, FORBS AND FLOWER BEDS IS TO MEET THE CANADIAN LANDSCAPE SPECIFICATION UNDER THE DESIGNATION 2P.
2. GROWING MEDIUM SHOULD BE CERTIFIED TO ITS ORIGIN AND VIRTUALLY FREE OF INVASIVE PLANT SEEDS, THEIR REPRODUCTIVE PARTS AND ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEIOUS MATERIALS THAT DETRACT FROM DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

LOAM: NATURAL, FERTILE, FRIABLE, AGRICULTURAL SOIL MEETING FOLLOWING REQUIREMENTS:

- NOT LESS THAN 6% ORGANIC MATERIAL.
- PH VALUE RANGING FROM 5.9 TO 7.0.
- NON-TOXIC TO PLANT GROWTH.
- E.C. - SALINITY READING NOT EXCEEDING 1.5
- SOIL TEXTURE: LOAM SOIL AS DEFINED BY CANADIAN SYSTEM OF SOIL CLASSIFICATION.

PEAT MOSS: DECOMPOSED PLANT MATERIAL, FAIRLY ELASTIC AND HOMOGENEOUS. FREE OF DECOMPOSED COLLOIDAL RESIDUE, WOOD, SULPHUR, AND IRON. MINIMUM OF 80% ORGANIC MATTER BY MASS; PH VALUE BETWEEN 4.5 AND 6.0.

SITE: PREPARED GROWING MEDIUM: SPREAD 50 MM PEAT MOSS AND 100 MM OF SAND EVENLY OVER EXISTING SUBGRADE. MIX THE SPREAD MATERIALS THOROUGHLY TO 150 MM DEPTH BY CULTIVATING OR ROTO-TILLING OR BY HAND METHODS.

PROJECT:
REC PLEX SKATEPARK LANDSCAPE PHASE I

LOCATION:
1305 9 ST S, GOLDEN, BC
V0A 1H0

CONTEXT MAP:



CLIENT:
TOWN OF GOLDEN
JORDAN PETROVIC - MANAGER OF RECREATION SERVICES
E: jordan.petrovics@golden.ca
T: 250.344.0665



LANDSCAPE ARCHITECT BCSLA 563



GOLDEN, BC 250.938.7337

STAMP



NOTE: ORIGINAL SHEET SIZE ARCH D (24x36)



ISSUED FOR: TENDER

DATE: 2024-03-14

NOT FOR CONSTRUCTION

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1.	CONCEPT DESIGN	2021-02-01	JJ
2.	SKATEPARK LANDSCAPE CONCEPT	2023-04-07	JJ
3.	SKATEPARK LANDSCAPE FINAL REV	2023-12-12	JJ
4.	SKATEPARK LANDSCAPE TENDER	2024-03-14	JJ

DESIGNED BY: JJ

DRAWING TITLE:
LANDSCAPE DETAILS

L-1.3

Any reuse, modification, or alteration of this document and the ideas and designs incorporated herein is at the sole risk of the party(ies) reusing, modifying, or altering it. All references to Larch Landscape + Authentic Mountain Design and their employees and all professional seals shall be removed prior to any reuse, modification or alteration to this document.